

6.00 PROPOSAL

6.01 Proposed Site Plan

6.02 Proposed Floor Plan

6.03 Proposed Roof Plan

6.04 Proposed Elevations

6.05 Proposed Elevations

6.06 Proposed Sections

6.00 PROPOSAL

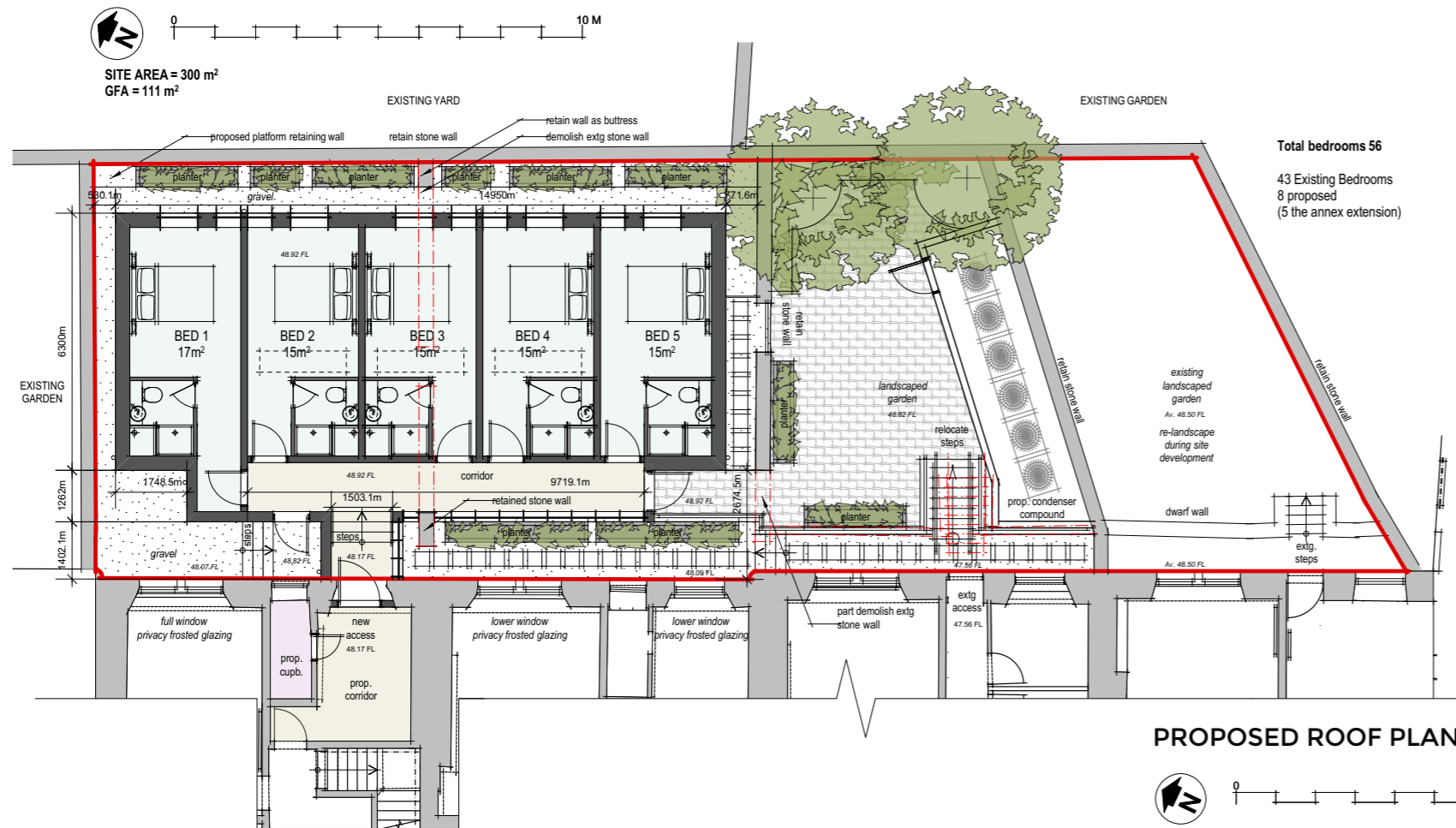
6.01 - PROPOSED SITE PLAN

- Site area: 300 m²
- Perimeter: 81 m
- Ground floor area: 111 m²
- Double room: 5 Total

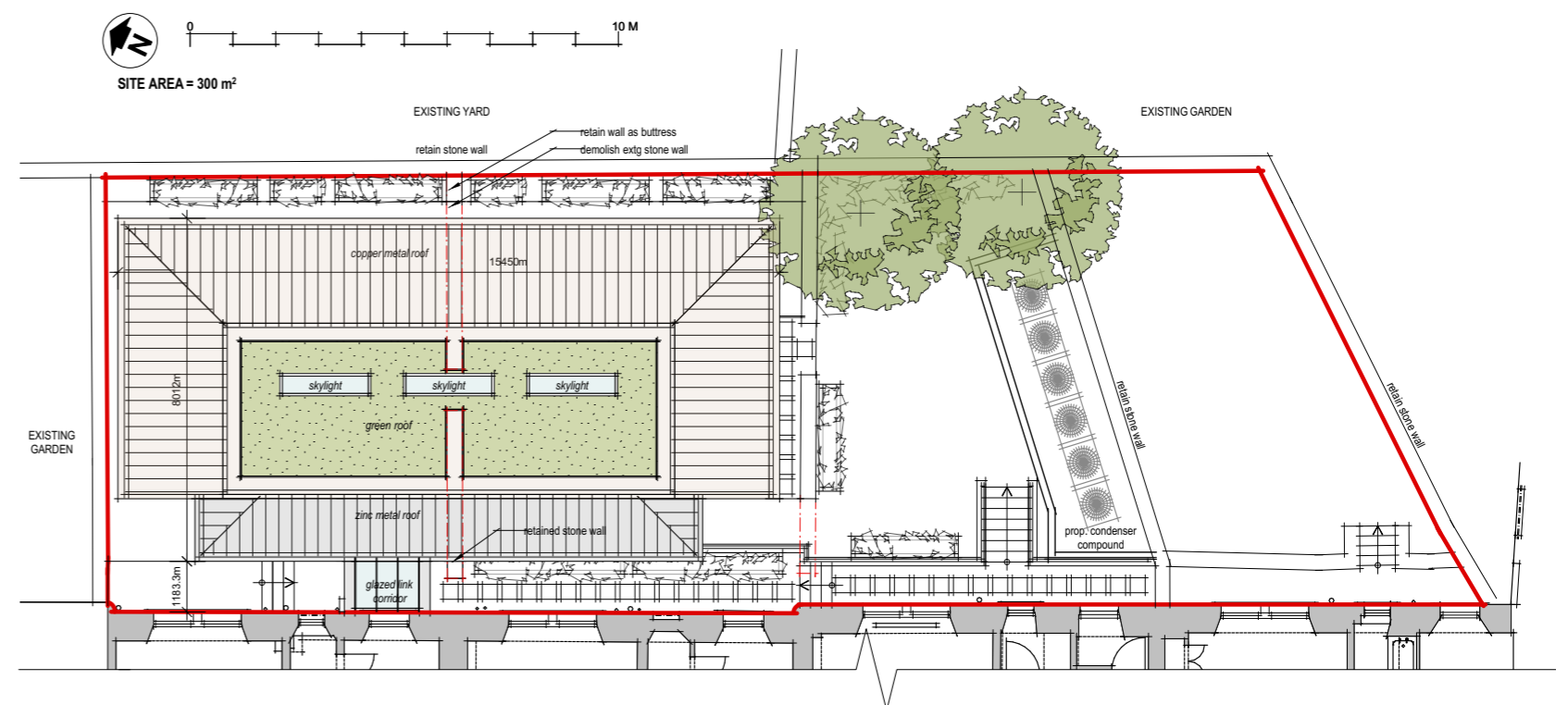


6.00 PROPOSAL

PROPOSED GROUND FLOOR LAYOUT



PROPOSED ROOF PLAN



6.03 - PROPOSED ROOF PLAN

The proposed combination of 'green' and metal deck roofing is designed to provide a simple visual landscape, which softens the overall building, viewed mainly from the hotel above, but also close neighbouring residential dwellings, by enhancing and embracing the local garden and industrial environment.

The green roofing will be planted with local wild flowers and have central dividing drainage channels mimicking the existing stone wall line, offset by both copper and zinc metal deck and standing seam roofing.

Three skylights located within the green roof provide additional natural light to the accommodation below.

6.02 - PROPOSED GROUND FLOOR

Due to the low level of the garden area and internal layouts of the existing hotel lower ground floor, there is scope for a single store extension. The proposed extension contains five double bedrooms with en-suite bathrooms on a raised floor level to match the existing garden level where possible.

A light framed glazed and metal clad corridor will subtly fix to the existing hotel stone façade and an access corridor created by removing the existing window and wall below allowing direct passage for guests to the accommodation. An access / emergency exit door located at the end of the glazed corridor allows for access to the landscaped garden beyond.

Some demolishing of existing division stone walls within the garden will allow for greater movement. To the opposite end of the corridor is a service door leading to a small enclosed external yard.

Existing hotel windows at lower ground floor will be partially screened at lower levels to allow for privacy while maintaining natural light and ventilation.

All proposed accommodation will have windows and / or skylights allowing for greater natural light and ventilation given the walls close proximity to the existing high boundary wall which are to remain.

Total area: 300 m²

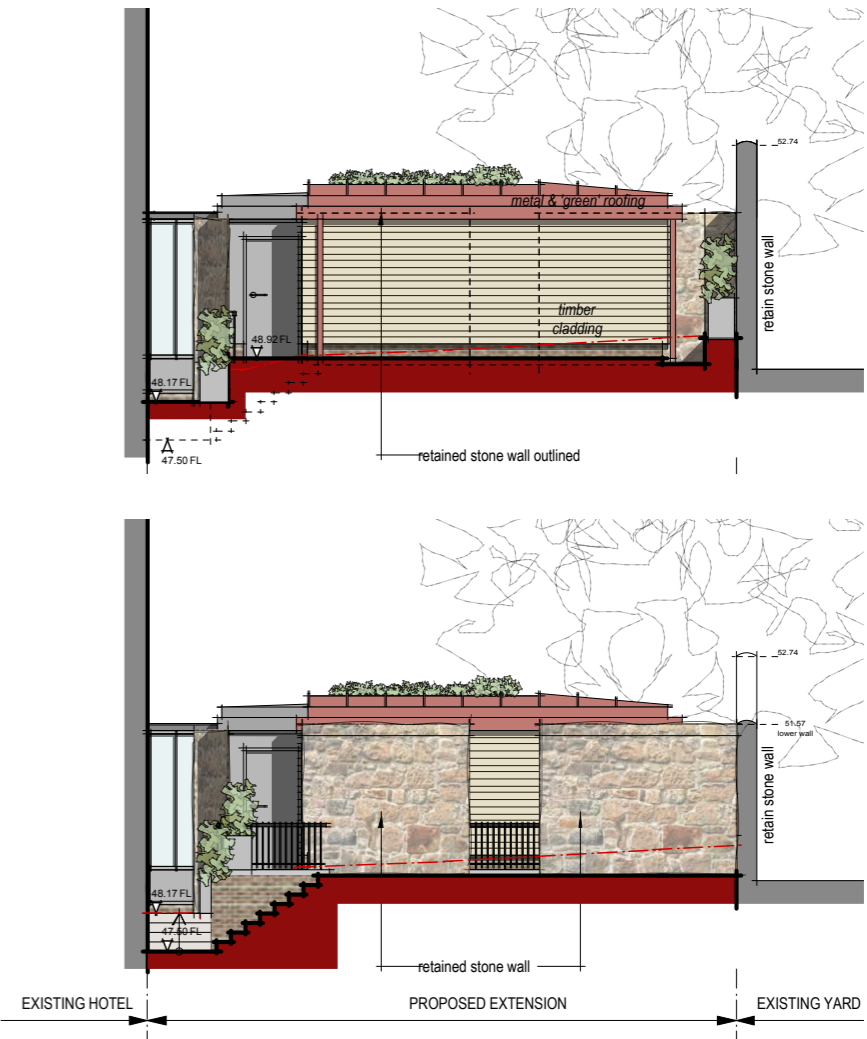
Double room: 5 Total (net +4)

6.00 PROPOSED

PROPOSED EAST ELEVATION



PROPOSED SOUTH ELEVATIONS



6.04 - PROPOSED ELEVATIONS

All elevations are designed to gently complement the existing stone facades and garden walls surrounding the proposed extension. While retaining their own appearance of being an independent contemporary structure that is honest to its requirement, by employing materials that soften and play down its presents within the garden area, allowing the existing local vernacular and vegetation to hold preference.

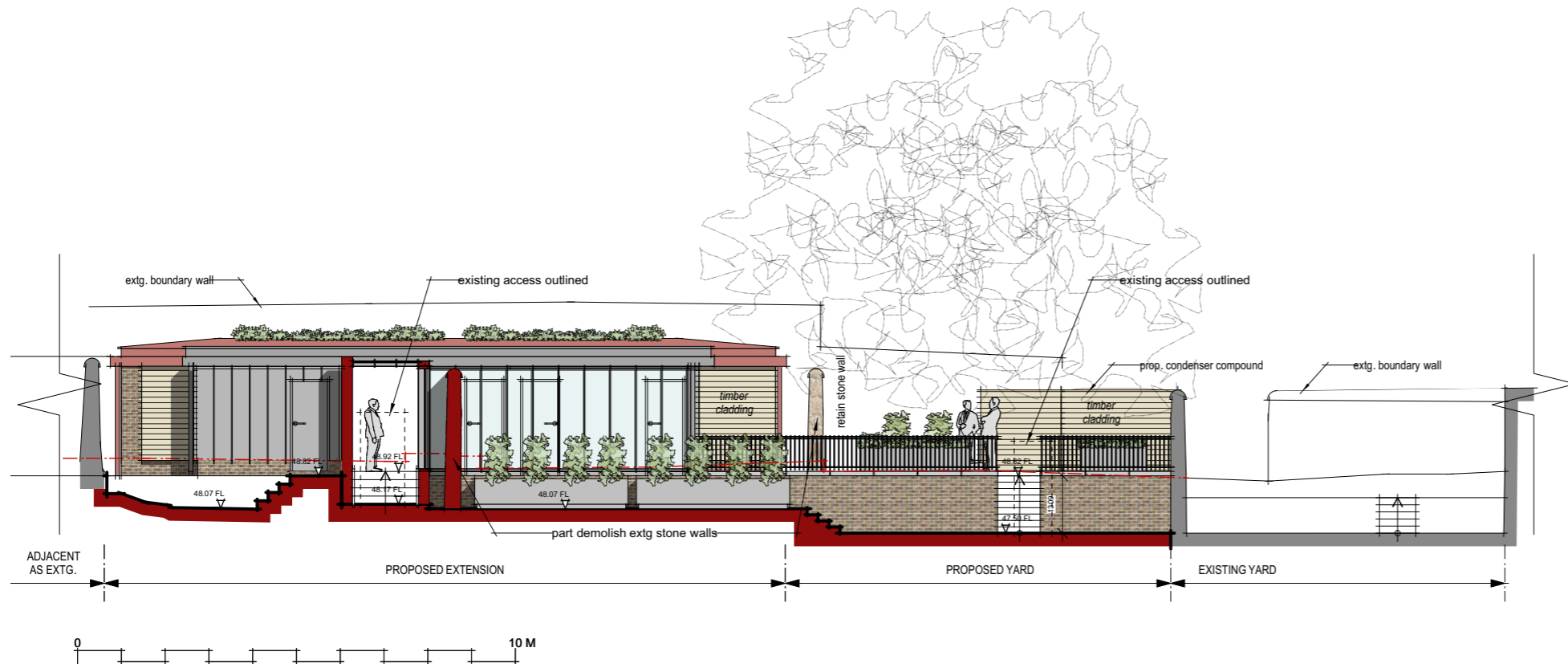
Materials include;

- Sustainably sourced timber clad walls
- Metal deck (standing seamed) roofing
- Complimentary brick plinth
- Timber framed windows & doors
- Multi glazed corridor walls suited to the local climate.

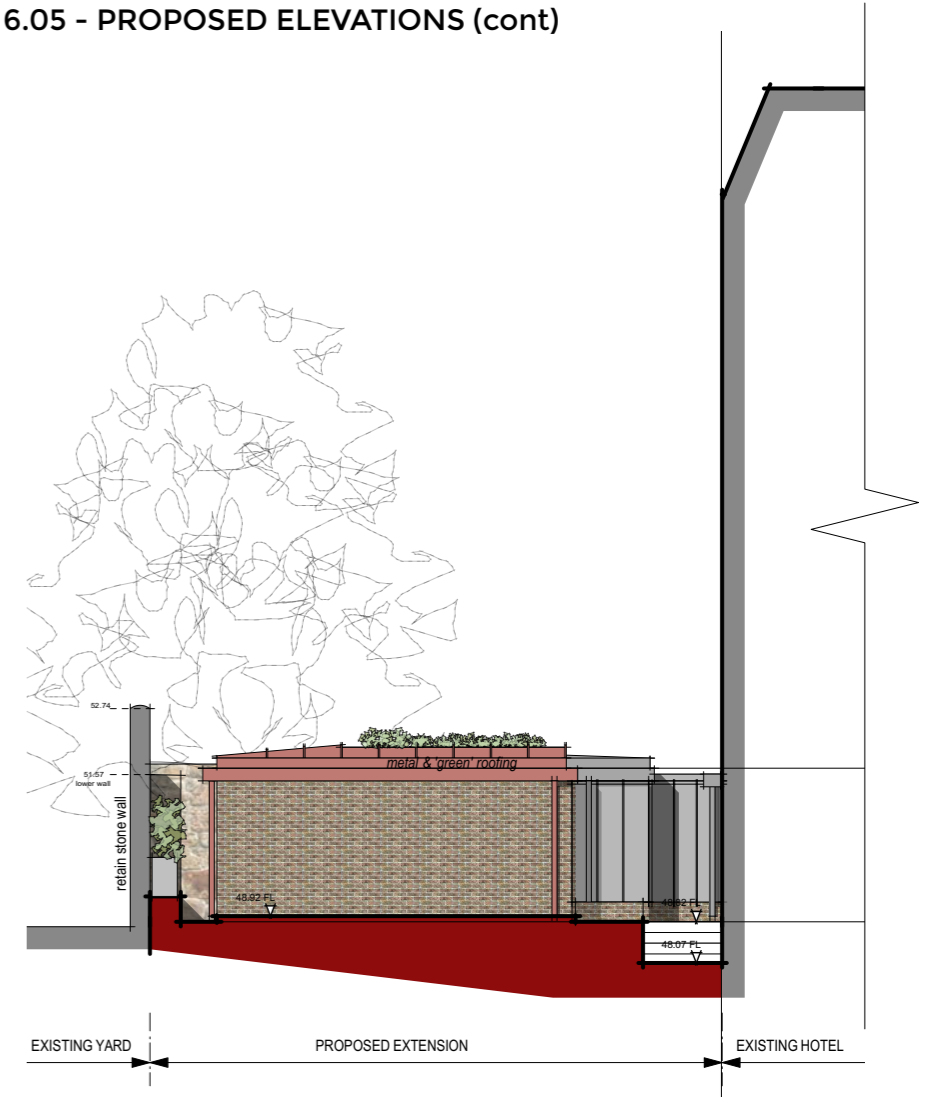


6.00 PROPOSED

PROPOSED WEST ELEVATION



6.05 - PROPOSED ELEVATIONS (cont)



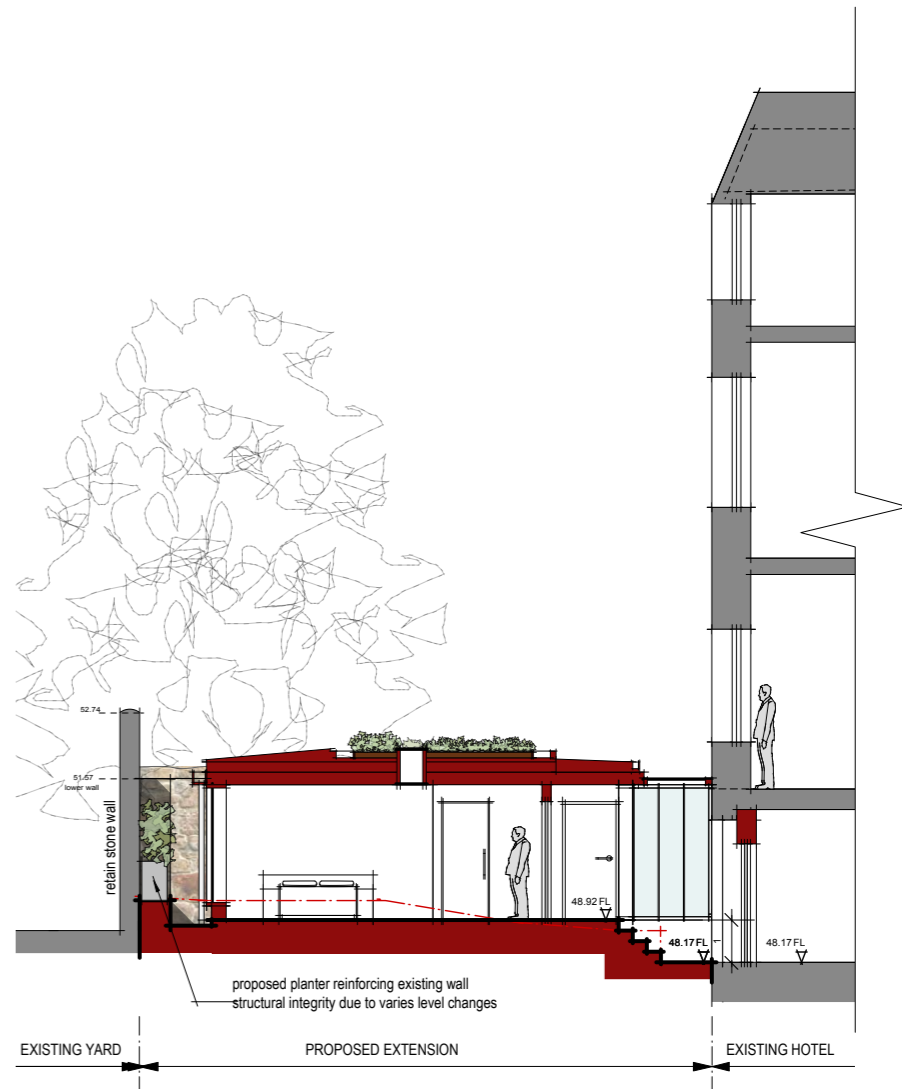
PROPOSED NORTH ELEVATION

6.00 PROPOSED

6.06 - PROPOSED LONG SECTION



6.07 - PROPOSED SHORT SECTION



7.00

ACCESS

7.01 Access

7.00 ACCESS

7.01 - ACCESS

Access to the hotel extension will be from Coates Gardens hotel main entrance via the lower ground floor.

Dispensation for Universal Access is sort given current hotel interior conditions satisfying accessibility requirements and the desire for minimal disruption to the existing facade.

Part M compliant protected lobby opens to steps up to the extension corridor accessing all five bedrooms. A door located at the end of the corridor allows for garden and emergency external access.

All internal doors will be appropriately sized and hotel corridors will generally be 1.2m wide.

All vehicle parking and cycle storage will remain the responsibility of patrons off-site. Delivery remain as on street loading bay access.



8.00 PLANNING APPLICATION

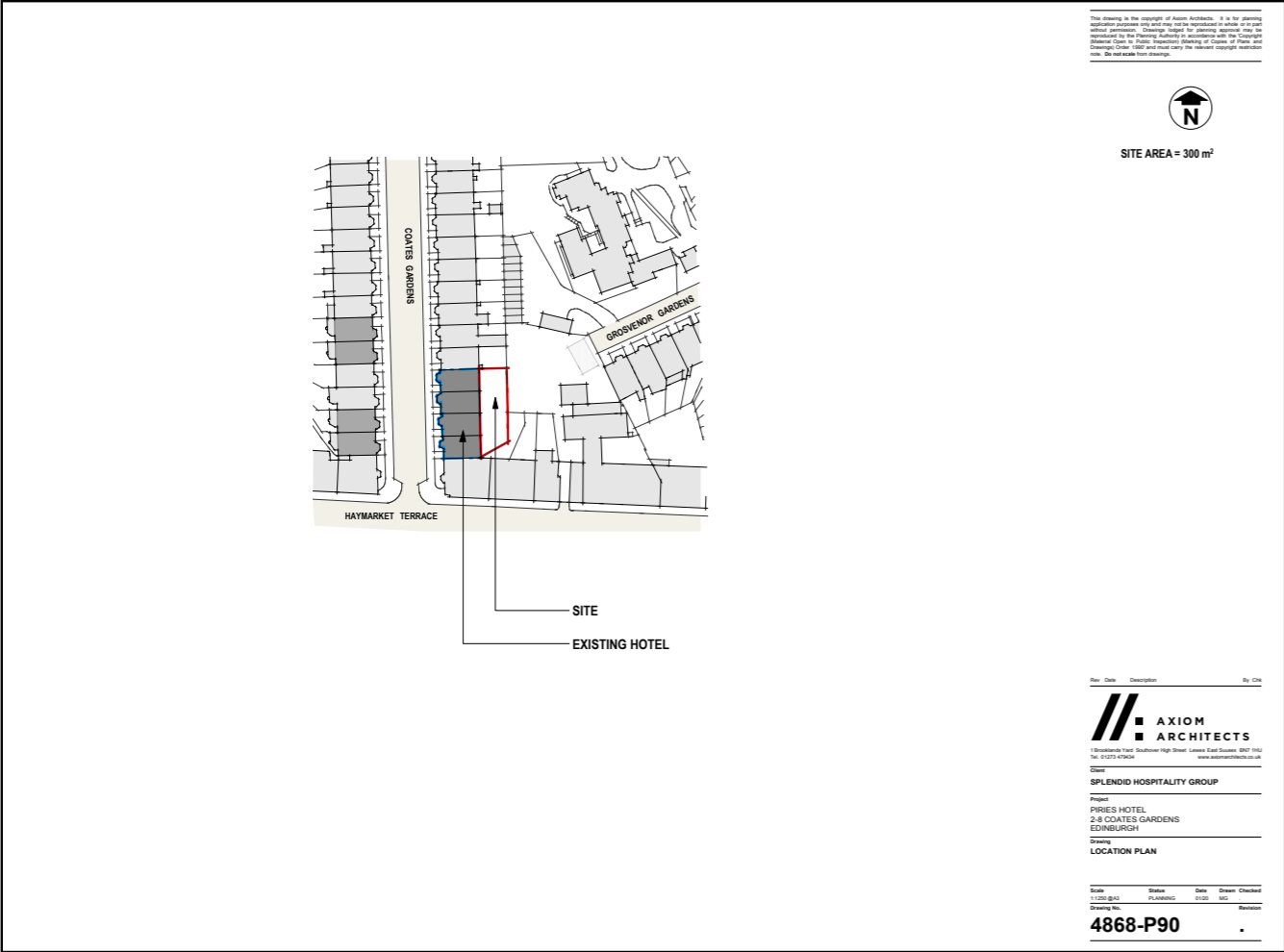
- 8.01** 4868-P90 Location 1250
4868-P91 Block 500
- 8.02** 4868-P100 Survey - Extg Lower Ground Floor Plan
4868-P101 Survey - Extg Rear Elevation
- 8.03** 4868-P105 Site Plan

- 8.04** 4868-P110 Ground Floor
4868-P111 Roof Plan
- 8.05** 4868-P112 Elevations
4868-P113 Elevations
- 8.06** 4868-P114 Elevations & Section
4868-P115 Elevations & Section
- 8.07** 4868-P116 Section
4868-P117 External Yard Elevation
- 8.08** 4868-P120 Refurbishment

- 8.09** 4868-P125 Materials

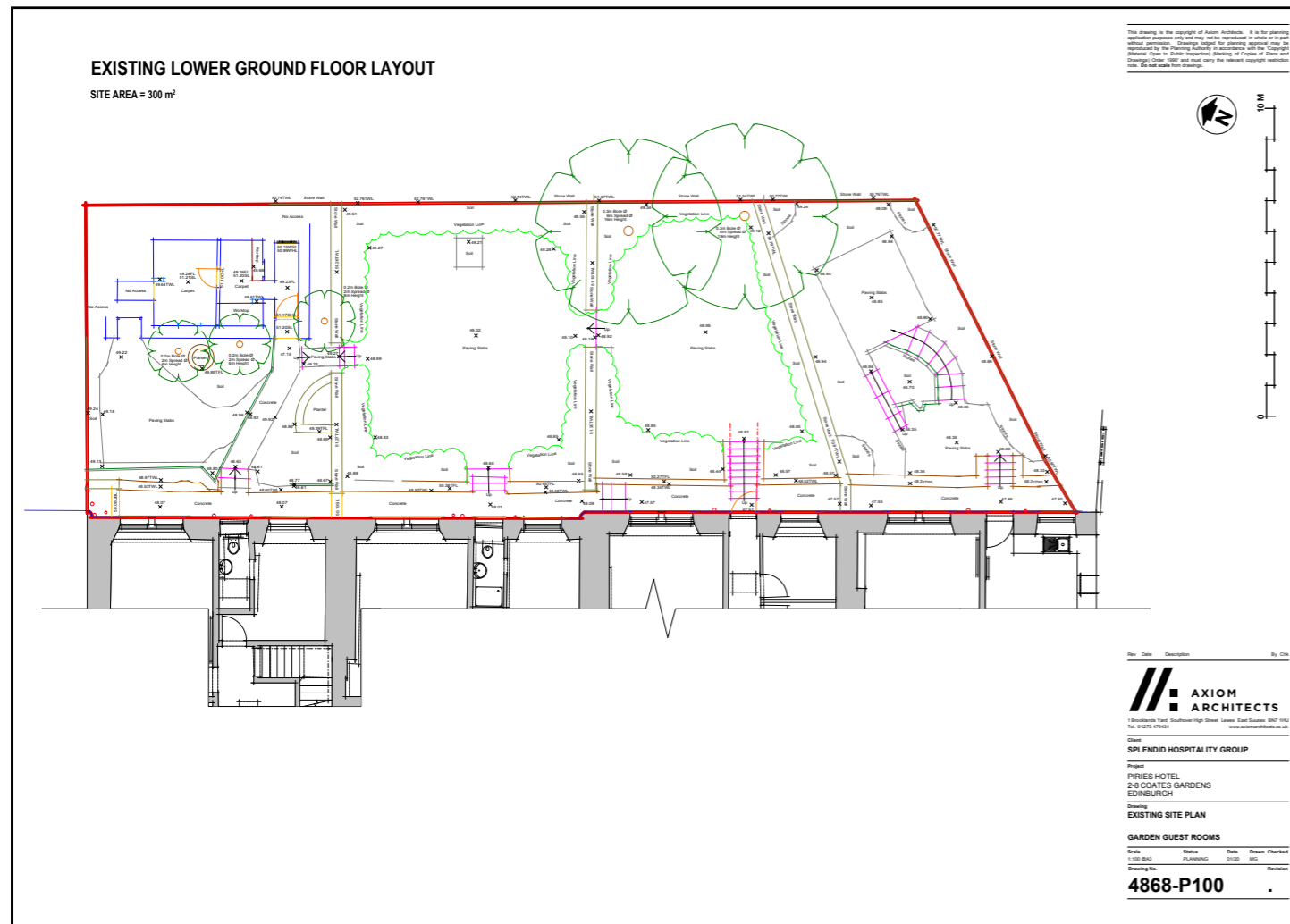
8.00 PLANNING APPLICATION

8.01 - PROPOSED LOCATION PLAN & BLOCK PLAN



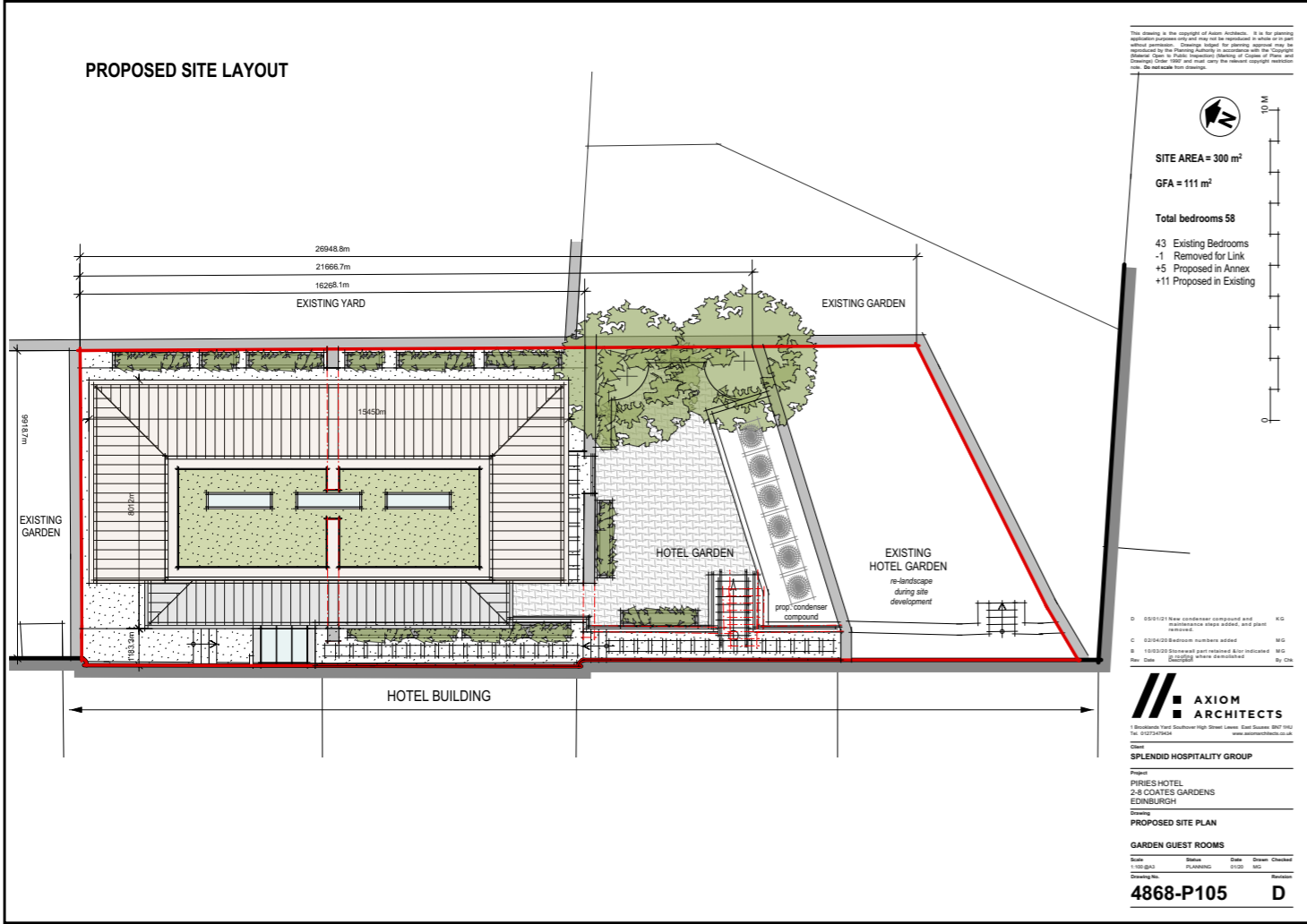
8.00 PLANNING APPLICATION

8.02 - EXISTING SITE PLAN & REAR ELEVATION



8.00 PLANNING APPLICATION

8.03 - PROPOSED SITE PLAN



8.00 PLANNING APPLICATION

8.05 - PROPOSED ELEVATIONS

PROPOSED REAR (EAST) ELEVATION

This drawing is the copyright of Axiom Architects. It is for planning application purposes only and may not be reproduced in whole or in part without permission. Changes subject to planning approval may be required by the Planning Authority in accordance with the Urban Design and Public Openness (Planning) (Scotland) Act 2012 and the Planning (Listed Buildings and Buildings in Conservation Areas) (Scotland) Act 2007 and may vary the relevant copyright material. Do not scale from drawings.

MATERIAL PALETTE

C	180101 Materials updated.	R/W
B	180101 New condenser compound added	K/G
A	180101 Minor site works	M/S

Rev. Date Description By. Ck.

AXIOM ARCHITECTS
1 Broadlands Yard Southside High Street Leith, East Sussex BN7 9JZ
Tel: 01273 474764
www.axiomarchitects.co.uk

Client: **SPLENDID HOSPITALITY GROUP**
Project: **PIRES HOTEL
2-6 COATES GARDENS
EDINBURGH**
Drawing: **PROPOSED EXTENSION ELEVATION**
GARDEN GUEST ROOMS

Scale	Drawn	Date	Drawn	Checked
1:100 (A3)	PL/AN/2023	01/03/23	MS	MS

Drawing No. **4868-P112** Revision **C**

PROPOSED WEST ELEVATION

This drawing is the copyright of Axiom Architects. It is for planning application purposes only and may not be reproduced in whole or in part without permission. Changes subject to planning approval may be required by the Planning Authority in accordance with the Urban Design and Public Openness (Planning) (Scotland) Act 2012 and the Planning (Listed Buildings and Buildings in Conservation Areas) (Scotland) Act 2007 and may vary the relevant copyright material. Do not scale from drawings.

MATERIAL PALETTE

C	180101 Materials updated.	R/W
B	180101 New condenser compound and maintenance area added	K/G
A	180101 Part demolished boundary wall shown	M/S

Rev. Date Description By. Ck.

AXIOM ARCHITECTS
1 Broadlands Yard Southside High Street Leith, East Sussex BN7 9JZ
Tel: 01273 474764
www.axiomarchitects.co.uk

Client: **SPLENDID HOSPITALITY GROUP**
Project: **PIRES HOTEL
2-6 COATES GARDENS
EDINBURGH**
Drawing: **PROPOSED EXTENSION ELEVATION**
GARDEN GUEST ROOMS

Scale	Drawn	Date	Drawn	Checked
1:100 (A3)	PL/AN/2023	01/03/23	MS	MS

Drawing No. **4868-P113** Revision **C**



8.00 PLANNING APPLICATION

8.06 - PROPOSED ELEVATIONS & SECTIONS

This drawing is the copyright of Axiom Architects. It is for planning application purposes only and may not be reproduced, in whole or in part, without permission. Changes made for planning approval may be approved by the Planning Authority in accordance with the Planning (Listed Buildings and Conservation Areas) Regulations 2017. The Planning Authority is not responsible for any errors or omissions. It is the responsibility of the client to ensure that the drawing is accurate and that it complies with the relevant legislation and regulations. The client should consult the relevant legislation and regulations for further information.

ELEVATION A - A **SECTION A - A** **MATERIAL PALETTE**

EXISTING YARD PROPOSED EXTENSION EXISTING HOTEL

proposed planter reinforcing existing wall structural integrity due to varies level changes

15/01/21 Materials updated: RW
 05/01/21 Revised proposed raised level plan: KG
 04/01/21 Final plan: RW
 15/03/20 Part demolished boundary wall shown: MG

Rev: Date: Description: By: CH

AXIOM ARCHITECTS
 11 Goodwin Way, Southside High Street, Leam, East Sussex, TN38 9JQ
 Tel: 01323 575454
 www.axiomarchitects.co.uk

Client: SPLENDID HOSPITALITY GROUP
 Project: PIRIES HOTEL
 2-8 COATES GARDENS
 EDINBURGH

Drawing: PROPOSED EXTENSION
 ELEVATIONS & SECTIONS
 GARDEN GUEST ROOMS

Date: 15/01/21
 Scale: 1:100 (G.A.)
 Status: PLANNING
 Date: 01/08/20
 Drawn: MG
 Checked: RW

4868-P114 **C**

This drawing is the copyright of Axiom Architects. It is for planning application purposes only and may not be reproduced, in whole or in part, without permission. Changes made for planning approval may be approved by the Planning Authority in accordance with the Planning (Listed Buildings and Conservation Areas) Regulations 2017. The Planning Authority is not responsible for any errors or omissions. It is the responsibility of the client to ensure that the drawing is accurate and that it complies with the relevant legislation and regulations. The client should consult the relevant legislation and regulations for further information.

ELEVATION B - B **SECTION B - B** **MATERIAL PALETTE**

EXISTING HOTEL PROPOSED EXTENSION EXISTING YARD

retained stone wall outlined

proposed planter reinforcing existing wall structural integrity due to varies level changes

15/01/21 Materials updated: RW
 05/01/21 Revised proposed raised level plan: KG
 04/01/21 Final plan: RW
 15/03/20 Part demolished boundary wall shown: MG

Rev: Date: Description: By: CH

AXIOM ARCHITECTS
 11 Goodwin Way, Southside High Street, Leam, East Sussex, TN38 9JQ
 Tel: 01323 575454
 www.axiomarchitects.co.uk

Client: SPLENDID HOSPITALITY GROUP
 Project: PIRIES HOTEL
 2-8 COATES GARDENS
 EDINBURGH

Drawing: PROPOSED EXTENSION
 ELEVATIONS & SECTIONS
 GARDEN GUEST ROOMS

Date: 15/01/21
 Scale: 1:100 (G.A.)
 Status: PLANNING
 Date: 01/08/20
 Drawn: MG
 Checked: RW

4868-P115 **B**

8.00 PLANNING APPLICATION

8.07 - PROPOSED SECTION & OUTLINE OFF SITE

PROPOSED LONG SECTION

MATERIAL PALETTE

AXIOM ARCHITECTS
1 Southside Yard, Southside High Street, Leith, East Lothian, EH6 7HG
Tel: 0131 2747404
www.axiomarchitects.co.uk

SPLENDID HOSPITALITY GROUP
Project: PIRIES HOTEL, 2-8 COATES GARDENS, EDINBURGH
Drawing: PROPOSED EXTENSION ELEVATION, GARDEN GUEST ROOMS
Scale: 1:100 (2/23) Date: 01/20
Drawing No: 4868-P116

4868-P116 C

EXISTING YARD OUTSIDE OF SITE ELEVATION

AXIOM ARCHITECTS
1 Southside Yard, Southside High Street, Leith, East Lothian, EH6 7HG
Tel: 0131 2747404
www.axiomarchitects.co.uk

SPLENDID HOSPITALITY GROUP
Project: PIRIES HOTEL, 2-8 COATES GARDENS, EDINBURGH
Drawing: EXISTING YARD ELEVATION WITH PROPOSED EXTENSION OUTLINED GARDEN GUEST ROOMS
Scale: 1:100 (2/23) Date: 01/20
Drawing No: 4868-P117

4868-P117 A



8.00 PLANNING APPLICATION

8.09 - PROPOSED MATERIALS

This drawing is the property of Axiom Architects. It is for planning purposes only and should not be reproduced or used without permission. Axiom Architects is not responsible for any errors or omissions. The information contained herein is for planning purposes only and should not be used for any other purpose. All rights reserved. © 2023 Axiom Architects. All rights reserved.



IMAGES SHOWING INDICATIVE MATERIAL SELECTION

A 19/01/23 Materials updated: 4/10
 Rev: Date: Description: By: On:

AXIOM ARCHITECTS
 1 Southside Yard, Southside High Street, Leith, East Lothian EH6 7JG
 Tel: 0131 275 7244
 www.axiomarchitects.co.uk

Client: **SPLENDID HOSPITALITY GROUP**

Project: **PIRIES HOTEL
 2-8 COATES GARDENS
 EDINBURGH**

Drawing: **PROPOSED MATERIALS**

Project: **GARDEN GUEST ROOMS**

Scale:	Detail:	Date:	Drawn:	Checked:
1:50 (plan)	PLUMBING	19/01/23	MS	

Drawing No: **4868-P125** Revision: **A**



ONLINE

www.axiomarchitects.co.uk
info@axiomarchitects.co.uk

TELEPHONE

+44 (0) 1273 479269

ADDRESS

Brooklands Yard
Southover High Street
Lewes
East Sussex
BN7 1HU

All rights reserved.
No part of this document may be reproduced in any form without
permission in writing from the publisher.

Axiom Architects 2021.





0131 226 7225
info@scotthobbsplanning.com
www.scotthobbsplanning.com

24a Stafford Street
Edinburgh, EH3 7BD

04 June 2021

4-8 Coates Gardens, Edinburgh

Local Review Documents List

Lower Ground Floor Extension to nos 6 and 8,
Piries Hotel, 2 – 8 Coates Gardens

Doc No.	Title
1	Local Review Statement
2	LBA-230-2200 Decision Notice
3	Email Exchange CEC and Agent
4a-f	Design Statement